

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 18, 2004

ITEM NO. _____

CASE NUMBER/ PROJECT NAME	McDowell Mountain Ranch Park & Aquatic Center 77-DR-1994#2		
LOCATION	SEC Thompson Peak Parkway & McDowell Mountain Ranch Road		
REQUEST	Request site plan and elevations approval for a park and aquatic center.		
OWNER	City of Scottsdale 27626		
ARCHITECT/ DESIGNER	Weddle Gilmore Architects (480) - 517-5055	APPLICANT/ COORDINATOR	Alison Tymkiw City of Scottsdale 480-312-7985

BACKGROUND This property has received Municipal Use Master Site Plan approval by the City Council on March 13, 2003, in case 20-UP-1994#2. The site plan proposed in this Development Review Board application, 77-DR-1994#2, is consistent with that 2003 approval.

APPLICANT'S PROPOSAL **Applicant's Request.**
The applicant proposes to construct a pool, skate amenity, and play ground. Along with these improvements, parking and landscaping is also proposed.

The buildings include play ground shade, restroom building, ramada, and pool facility. The low, horizontal lines are consistent with the site context that includes the existing school buildings. The colors proposed are earth tones including rust/oranges, brown, blue and green hues.

Road improvements include the loop road circulating to/from Thompson Peak Road, along which a natural buffer will be maintained. Pedestrian circulation will be provided through the installation of new paths that will connect to the proposed improvements and existing path networks. Landscaping will be installed to enhance the existing natural plant palette; the playground and pool deck will have some turf. Lighting is proposed at the pool deck, and throughout the park.

Development Information:

- Existing Use: Unimproved, planned for park improvements.
- Parcel Size: 16 acre parcel, part of an overall 74 acre park, school, citizen service center, and library site.
- Parking Required/Provided: 134 parking spaces required; 185 parking spaces provided.

DISCUSSION

The project is part of a Capital Improvement Project, which is scheduled for construction to initiate in December 2004. In order to maintain that schedule the proposed elevation and site design is being presented to the DRB at this time. Refined lighting for the pool deck, and the slide tower elevation element will need to return for consideration at a later date.

A public art-screening device will enclose the slide and tower. The screening device will act to shield the view of the structural components of the slide and tower stairs. The details of this element are still being refined. Therefore, the tower and stair enclosure will need to return to the DRB for consideration and recommendation to the Scottsdale Cultural Council.

The lighting will need to be designed and evaluated with attention given to the lighting context in relation to the site location, adjacent uses and improvements. Flood lighting is proposed as back lighting for the slide tower, this will be evaluated in consideration to the proposed screening device. In addition, the skate park lighting will need to be designed and considered for evaluation not only relative to the site context, but also relative to the skate park use and hours of operation.

STAFF
RECOMMENDATION**Recommended Approach:**

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

Kira Wauwie
Project Coordination Manager
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E-mail: kwauwie@ScottsdaleAZ.gov

Jayna Shewak
Development Planning Manager
Phone: 480-312-7059
E-mail: jshewak@ScottsdaleAZ.gov

ATTACHMENTS

1. Applicant Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Elevations (2 Pages)
6. Landscape Plan (4 Pages)
7. Detail Drawings (2 Pages)
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

McDOWELL MOUNTAIN RANCH PARK / AQUATIC CENTER

CITY OF SCOTTSDALE – PARKS, RECREATION & FACILITIES

- Aquatic / Fitness Center
- Skate Park
- Open Recreation / Playground / Restroom Buildings
- Parking Facilities

PROJECT DESCRIPTION

The overall 75-acre site is a master planned joint-use site that was developed by the City of Scottsdale and the Scottsdale Unified School District. Existing facilities include the Arabian Library, Middle School, Elementary School, Citizens Service Center, 3 lighted soccer fields and 2 lighted baseball fields. The Park / Aquatic Center phase involves approximately ~~46~~ 17 acres of the overall joint use site.

The revised Municipal Use Master Site Plan for the MMR Park / Aquatic Center was approved by the Scottsdale City Council on March 17, 2003. (20-UP-1994 #2) The revised master site plan shifted the pool and skate amenities to the southern part of the site approximately 1,100 feet from nearest residences. Related parking facilities were also shifted to the south. By shifting these facilities the visual, lighting and noise impacts to surrounding residents have been significantly reduced. The Old Verde Canal trail easement divides the southern and northern portions of the site. The improvements on the northern portion of the site include open recreation turf area, shaded playground, restroom building, picnic ramada, parking facilities and natural open space. Natural open space comprises approximately 60% of this zone preserving the natural desert landscape at the entry into the McDowell Mountain Ranch community.

Transportation improvements include the development of a two-way loop road under Thompson Peak Parkway that provides entry/exit access at southbound TPP. A second entry/exit is developed from northbound TPP into the site. Additional off-site improvements include the development of an additional right turn bay from northbound TPP to eastbound MMRR as well as an extension of the existing left turn lanes from westbound MMRR to southbound TPP to provide for additional storage depth. On the interior site circulation, a gate is provided between the new improvements and the existing School loop road to provide the opportunity for independent circulation.

Pedestrian circulation improvements provide connections to existing trail networks and sidewalks around the site. The pedestrian circulation utilizes the Old Verde Canal trail easement to provide connections through the site.

The landscape and grading designs utilize native plant material throughout the project and retain natural wash drainage features as site amenities. Turf area is limited to the open recreation area and turfed group areas on the pool deck.

The site lighting consists of 30' pole lights at the pool deck, 20' pole lights at the skate park and 20' pole lighting at the parking facilities and entry drives. Lighting at the open recreation and playground will consist of low-level landscape lighting.

The four primary structures include the Aquatic / Fitness Center, Pool Mechanical / Slide Tower and two small park Restroom Buildings. Additional site structures include two ramadas, pedestrian bridge, pool deck site walls and fencing around the skate park. The predominant material used throughout the project is cor-ten steel and weathered steel with a rust finish. Other materials include sandblasted concrete, sandblasted CMU and tensile fabric shade structures. The skin of the structure that encases the slide tower is being developed as the Public Art component.



77-DR-1994#2

ATTACHMENT #2



McDowell Mountain Ranch
Park / Aquatic Center

77-DR-1994#2

ATTACHMENT #2A

P.O.C. ES

77-DR-1994#2
1-12-04

WEDDLEGILMORE
ARCHITECTS

BLACK ROCK STUDIO
51 WEST THIRD STREET
N.O. 710
TEMP, ARIZONA 85281
TEL 480 517 3000
FAX 480 517 6001

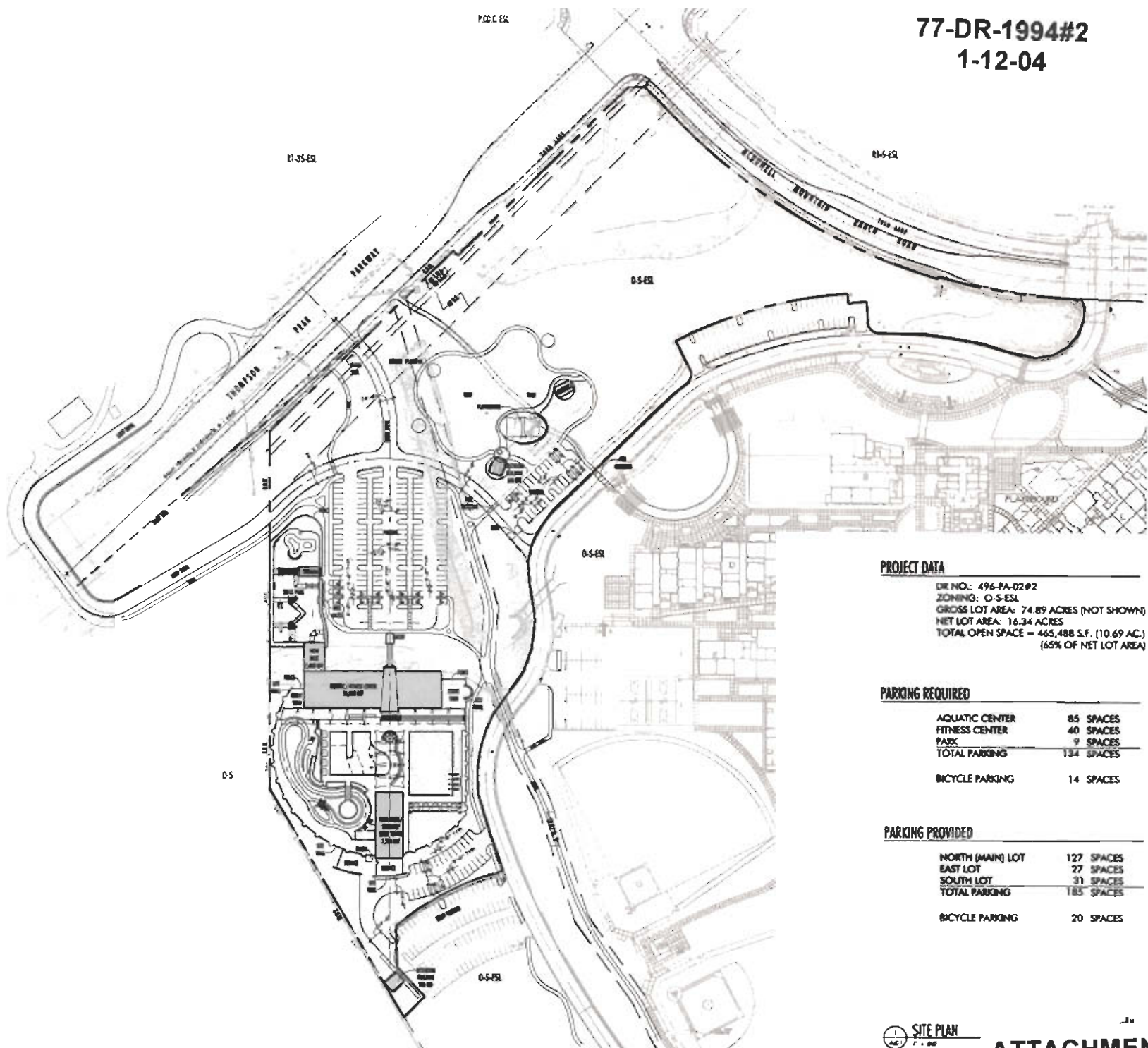
DRB SUBMITTAL

McDowell Mountain Ranch Park/ Aquatic Center
Thompson Peak Parkway and McDowell Mountain Ranch Road
City of Scottsdale, Arizona 85260



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SITE PLAN



PROJECT DATA

DR NO.: 496-PA-02#2
ZONING: O-S-ESL
GROSS LOT AREA: 74.89 ACRES (NOT SHOWN)
NET LOT AREA: 16.34 ACRES
TOTAL OPEN SPACE = 465,488 S.F. (10.69 AC.)
(65% OF NET LOT AREA)

PARKING REQUIRED

AQUATIC CENTER	85 SPACES
FITNESS CENTER	40 SPACES
PARK	9 SPACES
TOTAL PARKING	134 SPACES
BICYCLE PARKING	14 SPACES

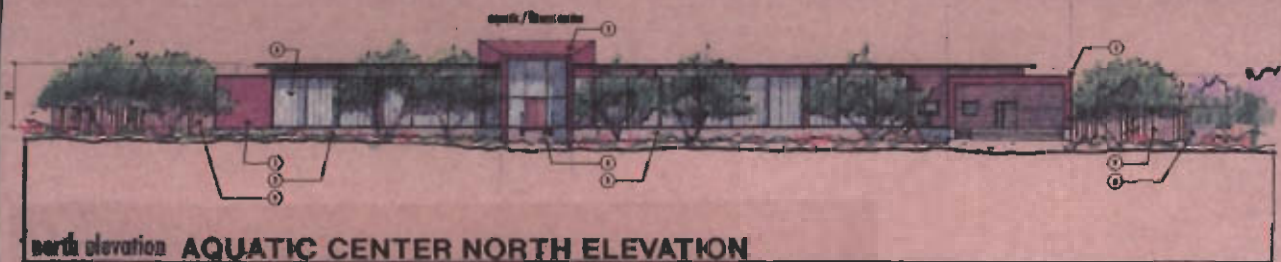
PARKING PROVIDED

NORTH (MAIN) LOT	127 SPACES
EAST LOT	27 SPACES
SOUTH LOT	31 SPACES
TOTAL PARKING	185 SPACES
BICYCLE PARKING	20 SPACES

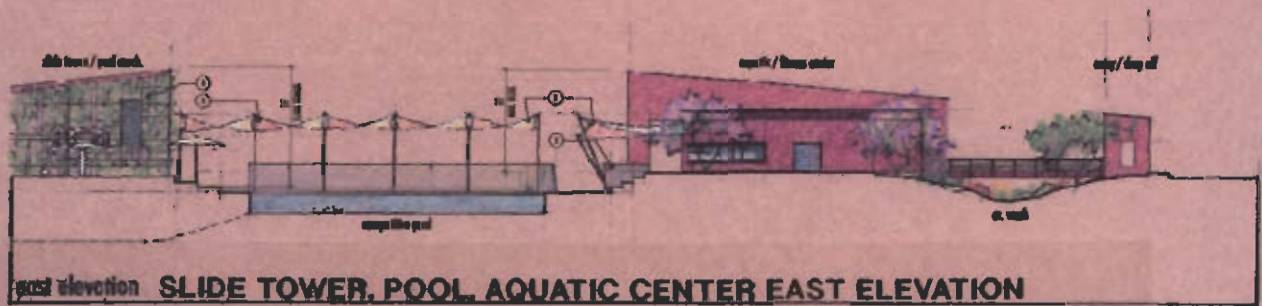
SITE PLAN
1" = 60'

ATTACHMENT #4

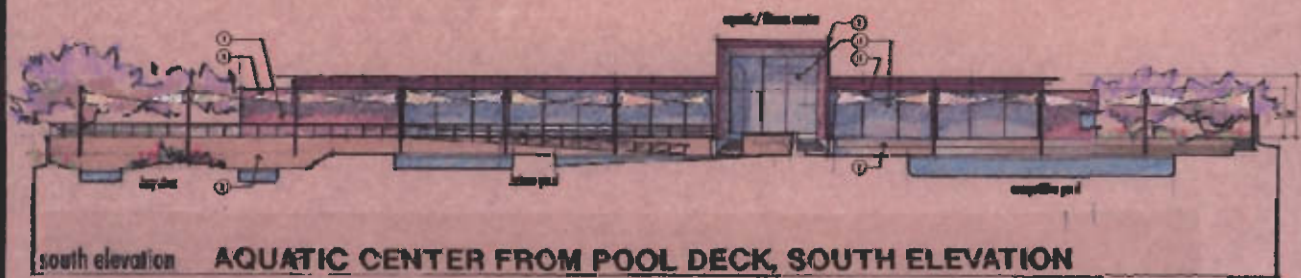
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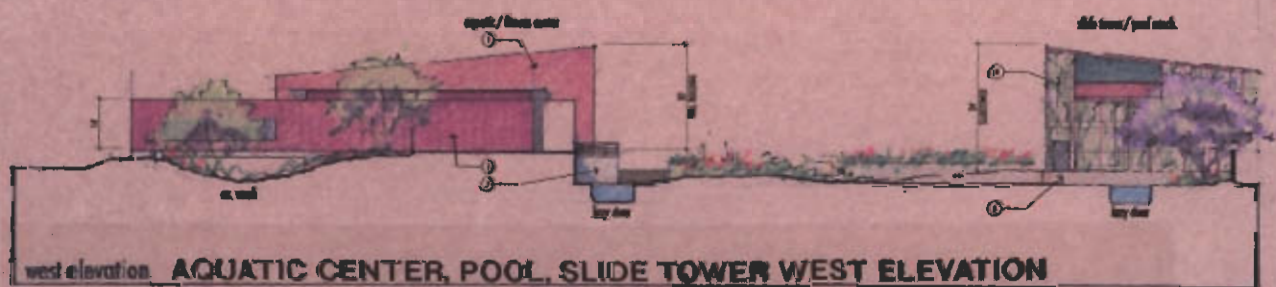
north elevation AQUATIC CENTER NORTH ELEVATION



east elevation SLIDE TOWER, POOL AQUATIC CENTER EAST ELEVATION

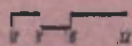


south elevation AQUATIC CENTER FROM POOL DECK, SOUTH ELEVATION



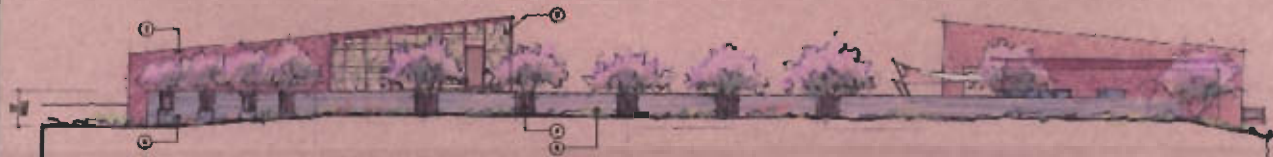
west elevation AQUATIC CENTER, POOL, SLIDE TOWER WEST ELEVATION

Conceptual Elevations

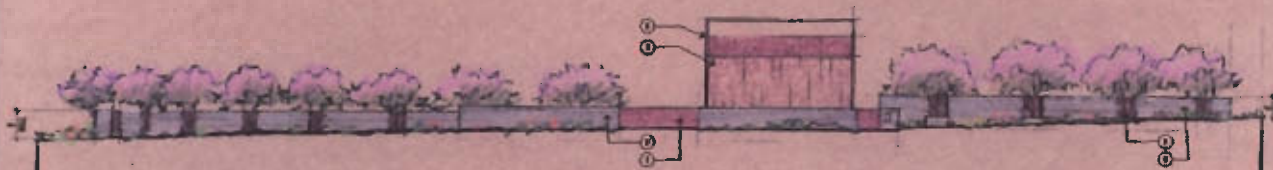


- | | |
|-----------------------------|-----------------------------|
| ① 10' to 12' high pool deck | ⑤ 10' to 12' high pool deck |
| ② 10' to 12' high pool deck | ⑥ 10' to 12' high pool deck |
| ③ 10' to 12' high pool deck | ⑦ 10' to 12' high pool deck |
| ④ 10' to 12' high pool deck | ⑧ 10' to 12' high pool deck |
| ⑨ 10' to 12' high pool deck | ⑩ 10' to 12' high pool deck |

77-DR-1994 #2
 3-1-2004



MECHANICAL BUILDING/SLIDE TOWER, POOL, AQUATIC CENTER EAST ELEVATION
east elevation



MECHANICAL BUILDING SOUTH ELEVATION
south elevation



AQUATIC CENTER, SLIDE TOWER, MECHANICAL BUILDING WEST ELEVATION
west elevation

NOTE: THE THREE ELEVATIONS ABOVE SHOW THE FENCE AROUND POOL AREAS



typ. restroom bldg. front



typ. restroom bldg. side

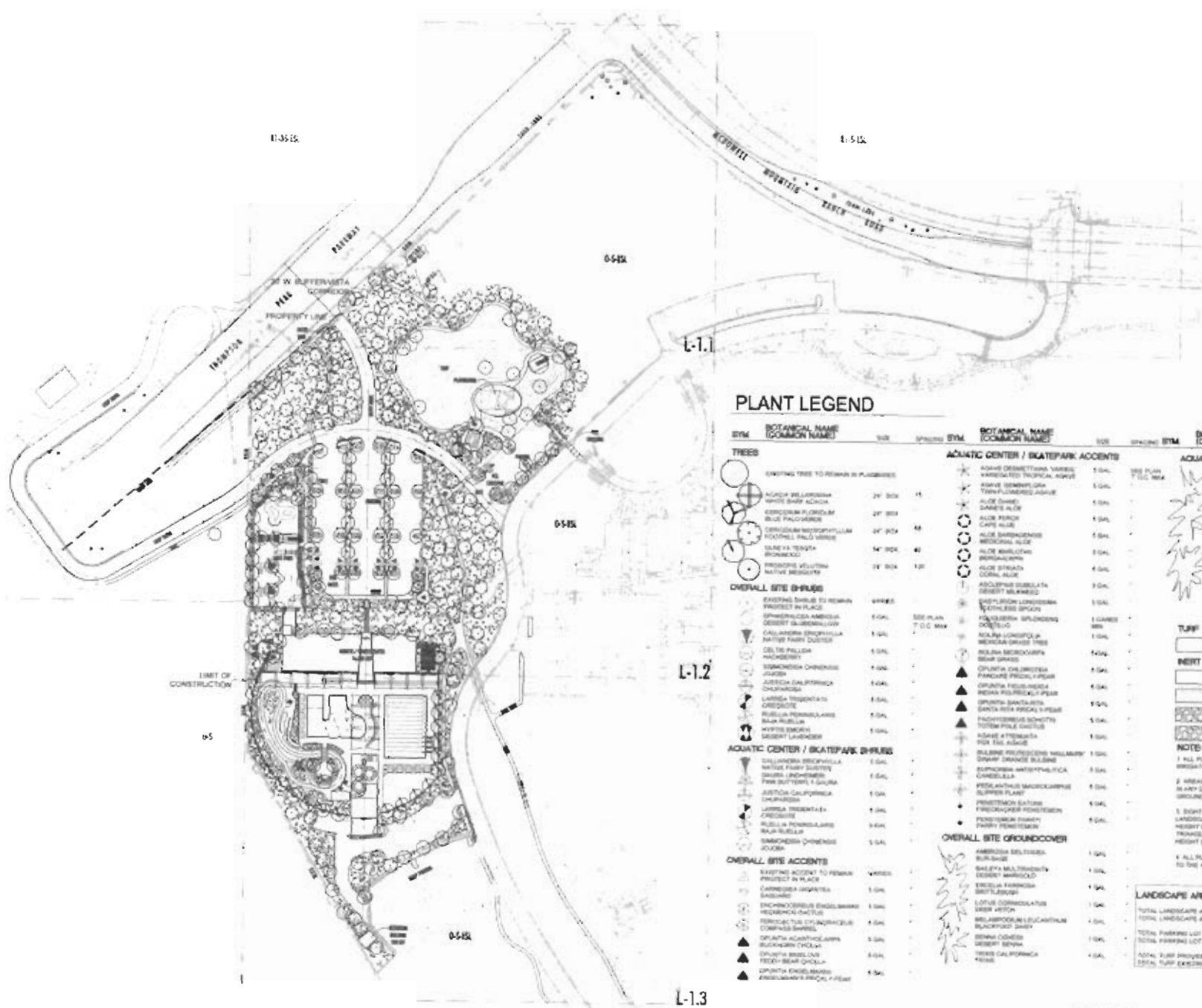


typ. restroom bldg. rear

Conceptual Elevations



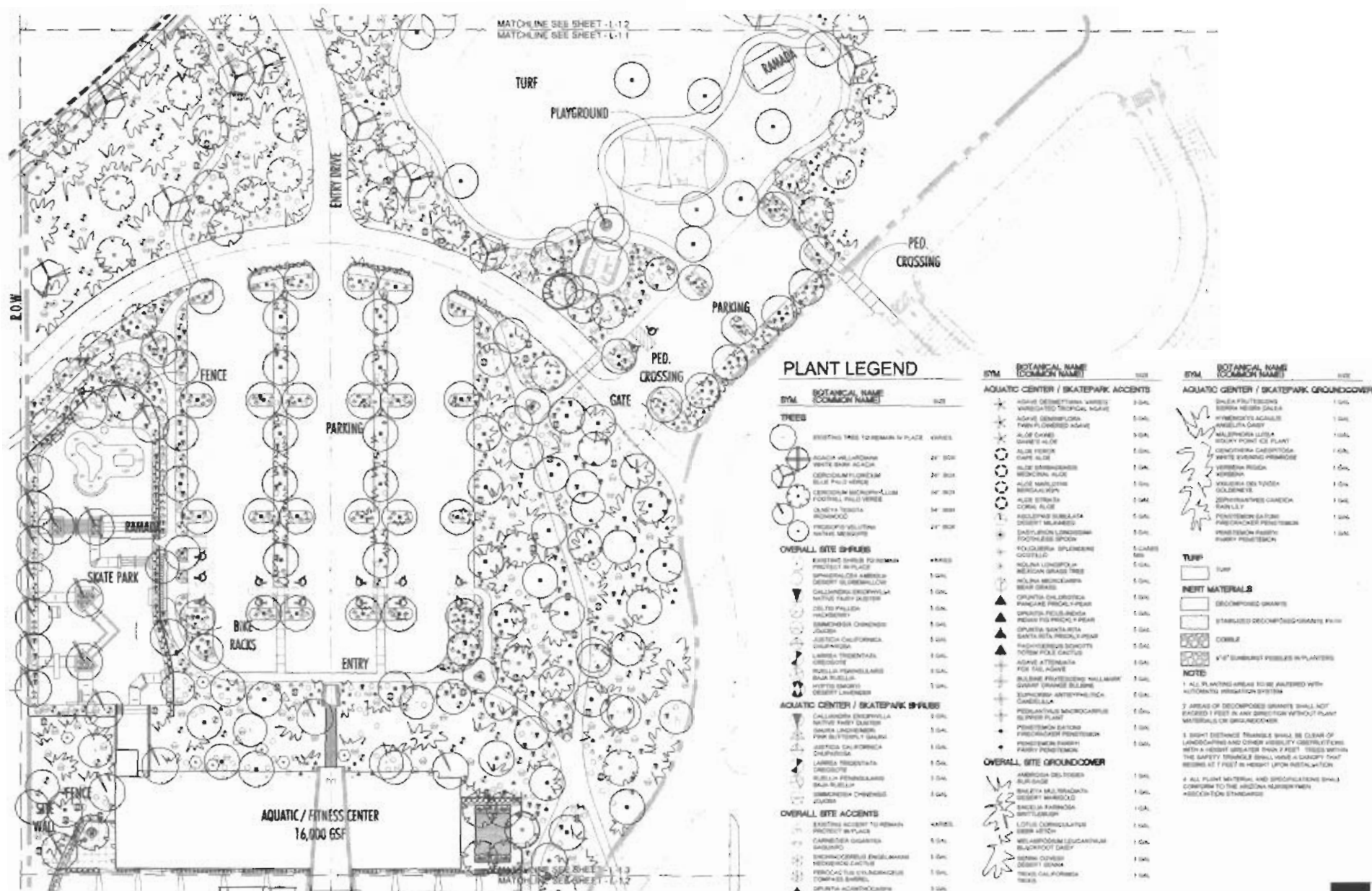
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|-----------------------------|---------------------------------|
| ① Redwood/cedar shake walls | ⑤ Green/white horizontal siding |
| ② Clay tile roof | ⑥ Green/white horizontal siding |
| ③ Redwood/cedar shake walls | ⑦ Green/white horizontal siding |
| ④ Redwood/cedar shake walls | ⑧ Redwood/cedar shake walls |
| ⑨ Redwood/cedar shake walls | ⑨ Redwood/cedar shake walls |

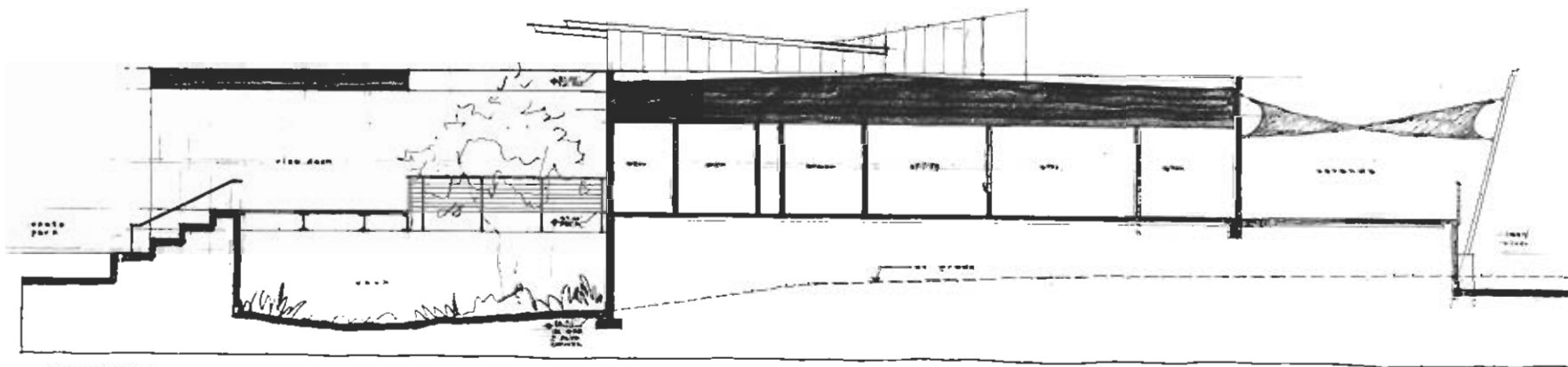


PLANT LEGEND

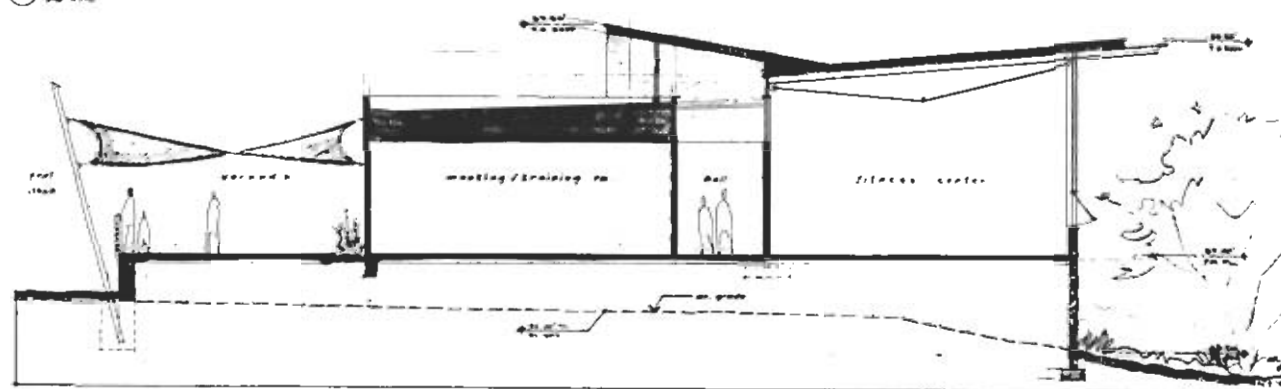
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Journal of Internal Medicine 255: 103–110

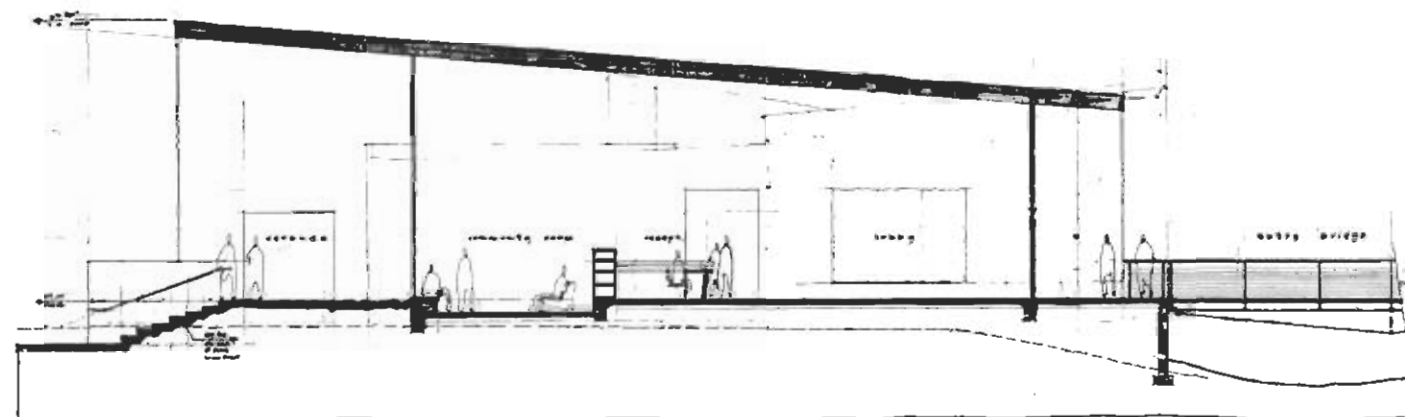




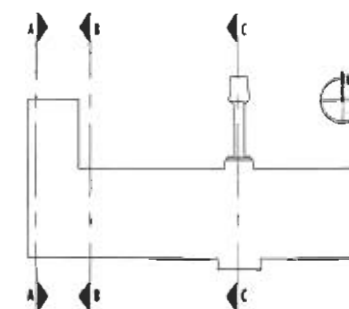
A CROSS SECTION "A"
3/8" = 1'-0"

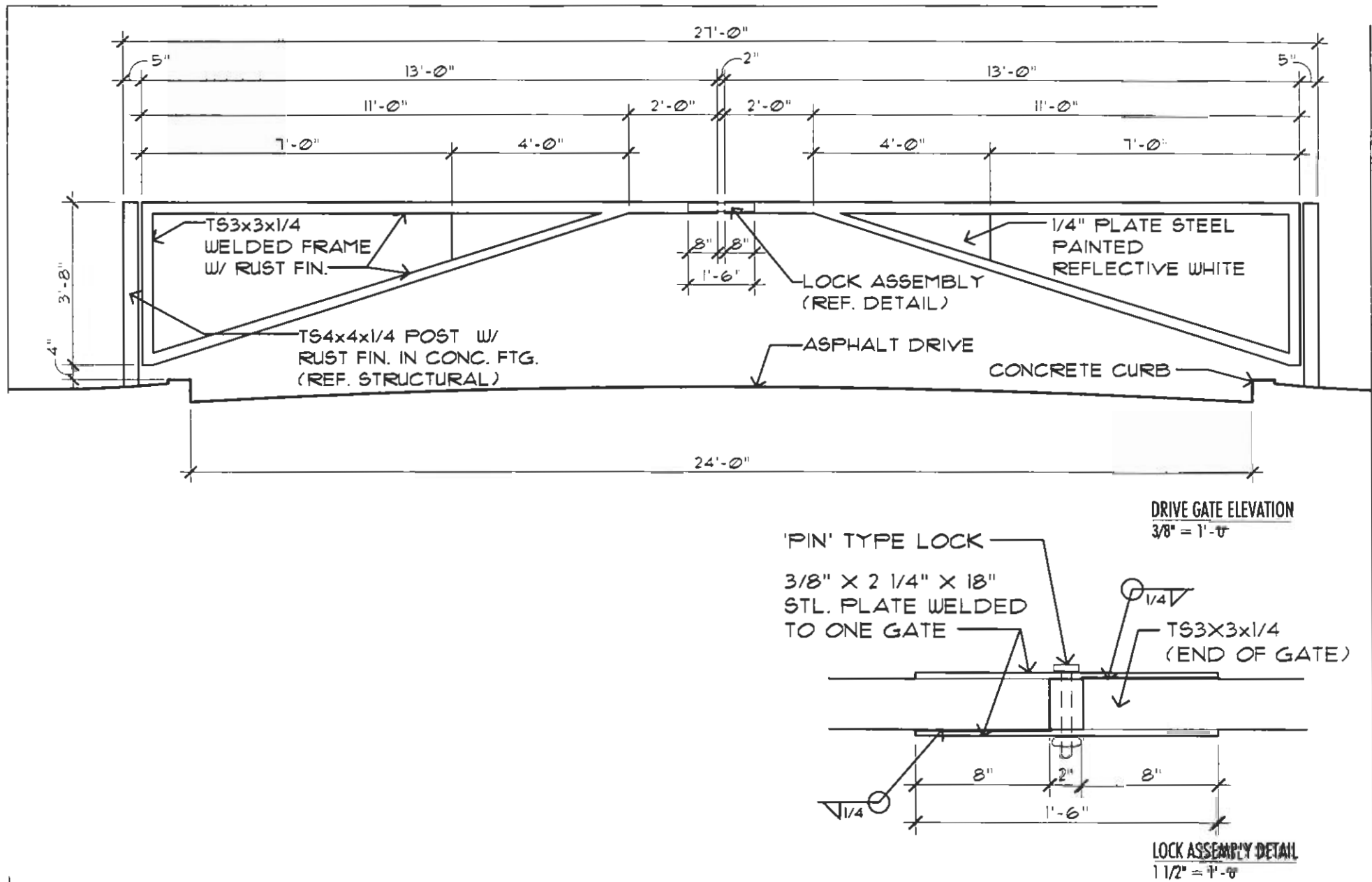


B CROSS SECTION "B"
3/8" = 1'-0"



C CROSS SECTION "C"
3/8" = 1'-0"





**Mc DOWELL MOUNTAIN RANCH
PARK & AQUATIC CENTER
SEC. 124TH. ST. & VIA LINDA**

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.

SEE THE D. R. SITE PLAN FOR THE LOCATION OF THE FIRE LANE & LOADING ZONE.

- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☒ B. PADLOCK
 - ☒ C. KNOX OVERRIDE & STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 6. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 7. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 8. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. 2-1/2" EXTERIOR
- ☐ 9. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 10. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER(S) OF CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 11. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 20') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 12. NUMBER OF FIRE HYDRANTS REQUIRED, -TWO-. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 13. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 14. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 15. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. PERMIT FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED REQUIRES THAT A COMPLETED HMMP BE PROVIDED WITH SUBMITTAL OF BUILDING PLANS.
- ☒ 16. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 17. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 18. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF _____ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS MAY BE REQUIRED.

19. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA (2002 EDITION) & CITY ORDINANCE. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ **A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ **B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ **C. NFPA (2002 EDITION) COMMERCIAL SYSTEM / DESIGN CRITERIA:**
LT. HAZ. ORD. GR. II
- ☐ **D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA;**
- ☐ **E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES:**
.45 OVER 3000 SQ. FT.
- ☐ **F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**
- ☐ **G.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: McDowell Mountain Ranch Park & Aquatic Center Case 77-DR-1994#2

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Weddle Gilmore Architects with a date of March 1, 2004.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Weddle Gilmore with a date of January 6, 2004.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Floor and Associates Landscape architecture with a date of staff of March 1, 2004.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).
10. Existing barbed wire fence shall be removed prior to final inspection.

Ordinance

- a. All building colors and materials shall meet the Environmentally Sensitive Lands Ordinance requirement for Light Reflective Value and value and chroma requirements.

SITE DESIGN:**Ordinance**

- b. Prior to final plan approval and permits, a City of Scottsdale approved land assemblage shall be completed that ties parcels 217-14-003K and 217-16-011B.

OPEN SPACE:**Ordinance**

- c. With the final plans submittal, the developer shall submit a revised site plan worksheet that graphically indicates the parking area that was used in calculating required parking lot landscaping.

LANDSCAPE DESIGN:**DRB Stipulations**

11. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
12. With the final plans submittal, the developer shall submit a revised landscape plan deleting and/or substituting the White Bark Acacia with another specie that appears on the Indigenous Plants for the Environmentally Sensitive Lands plant list.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

13. All exterior lighting with the exception of the parking lot and play ground areas, shall return for Development Review Board approval.
14. All other exterior lighting shall comply with the following stipulations:
 - a. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line.
 - b. The individual luminarie lamp shall not exceed 250 watts.
 - c. The maximum height from finished graded to the bottom of the any exterior luminiare shall not exceed 16 feet.
 - d. All exterior light poles, pole fixtures, and yokes, including bollards (when utilized) shall be a flat black or dark bronze.
 - e. No lighting shall be permitted in dedicated NAOS easements, Vista Corridor easements.
 - f. Incorporate into the project's design, the following:
 - i. Parking Lot and Site Lighting:
 - (1). The maintained average horizontal illuminance level, at grade on the site shall not exceed 1.5 foot-candles.
 - (2). The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 6.0 foot-candles. All exterior luminaries shall be included in this calculation.
 - (3). The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaries shall be included in this calculation.
 - ii. Building Mounted Lighting:
 - (1). All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

- (2). Wall mounted luminaries shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.

g. Landscape Lighting

- i. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- ii. Landscaping lighting shall only be utilized to accent plant material.
- iii. All landscape lighting directed upward, shall be aimed away from property line.
- iv. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- v. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

15. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

16. No exterior vending or display shall be allowed.
17. Flagpoles, if provided, shall be one piece, conical, and tapered.
18. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- d. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 74-ZN-92, 20-UP-94, 20-UP-94#2, 77-DR-94 & 5-DR-93.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

19. Architectural preliminary site plan, preliminary drainage report and aerial photo.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

20. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
- a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies of the drainage report.

Ordinance

- e. In March 2004, the City's Stormwater Management Division approved a Stormwater Storage Waiver for this development. This approval is based on the following conditions:

With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.

Underground Stormwater Storage:

1. Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
2. Drywells are not permitted.

Street Crossings:

3. Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Loop Drive	See Note "a"	See Note "a"	28' B/C to B/C	Roll	See Note "a"

- NOTE "A"** -
- a) Loop Drive is a right-in, right-out configuration.
 - b) The minimum width of each drive leg at the Thompson Peak Parkway intersection is 18-feet pavement plus roll curb at both sides.
 - c) The Loop Drive shall have a minimum pavement width of 24 feet, or a 28-feet driveable Surface, including 2' roll curbs on both sides.

- d) The height of the vertical clearance in the Loop Drive under Thompson Peak Parkway shall be a minimum of 13-feet & 6-inches (13' 6")
- e) The right-out leg of the Loop Drive shall be intersecting Thompson Peak Parkway at a 90-degree angle.

21. Additional Stipulations as project demands.

- a. There shall be a deceleration lane on Thompson Peak Parkway leading to the site's main entry drive and to the Loop Drive.

Ordinance

- f. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

TRAFFIC SIGNALS:

Ordinance

- g. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

INTERNAL CIRCULATION:

DRB Stipulations

- 22. Pedestrian crossing of main drive shall be raised pedestrian tables.
- 23. Additional pedestrian crossings, designed with a raise table, shall be provided from the other parking lot, further from McDowell Mountain Ranch Road.
- 24. There shall be stop signs at exit locations of the entry drive and Loop Drive (entering Thompson Peak Parkway), and at the end of the Loop Drive at a location to the west of the main parking area. Consult the City of Scottsdale Transportation Department for exact locations and numbers of Stop Signs.
- 25. The developer shall provide a minimum parking-aisle width of 24 feet.
- 26. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
- 27. The developer shall design the dead-end parking aisle in general conformance with the City standard details.

Ordinance

- h. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
25 feet Trail easement	

DRB Stipulations

- 28. Trail Easement:

- a. Prior to final plan approval, a minimum 25-foot wide public trail easement shall be dedicated. The trails shall be located at the following locations:
 - (i) A new trail located at approximately 170 feet west of the proposed Entry Drive, linking Thompson Peak Parkway to the proposed Loop Drive to the south at a 90 degrees angle (the proposed location of this trail, as shown on the preliminary architectural site plan, dated 1-12-2004, is not acceptable).
 - (ii) A new trail shall be constructed to link with the existing trail adjacent to the existing ballpark, to the south of this site. The new trail shall then continue north within the existing 25-foot trail easement. This trail shall then overlap the proposed sidewalk over the parking lot median (use delineators and signage/stripping to show the exact location), and then join the other proposed trail connecting to Thompson Peak Parkway (mentioned above).
 - (iii) A minimum 8-foot wide public trail within the easement, shall be constructed. The trail shall be buffered from parking areas and from vehicles as much as possible. The approved trail alignment should be coordinated with the City's Trail Coordinator.
- b. There shall be signage for all trails per Section 7.3 of the City's Design Standards & Policies Manual. The location and design of the signs and markers shall be shown on the final improvement plans to the satisfactions of Parks and Recreation staff.

Sight Distance Easements:

29. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

30. Vehicular Non-Access Easement:

31. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

i. Drainage Easement:

- a. Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

REFUSE:

DRB Stipulations

The proposed refuse enclosure, as shown on the preliminary architectural site plan, dated 1-12-04, is not acceptable. The proposed enclosure should be relocated approximately 70 feet to south of the proposed location and positioned in such a way that it would face the incoming refuse truck from east.

- 32. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures.

33. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

- j. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- k. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

34. Coordinate with the City of Scottsdale Water Resources Department, attention Doug Mann (480-312-5636) regarding the location of a sewer main that is located under the proposed improvements. This issue should be resolved and reflected in the B.O.D. report.
35. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**DRB Stipulations**

36. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- l. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

37. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report

from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

BRIDGES:**DRB Stipulations**

38. Bridges:

- a. All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
- b. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

CONSTRUCTION REQUIREMENTS**Ordinance**

- m. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]